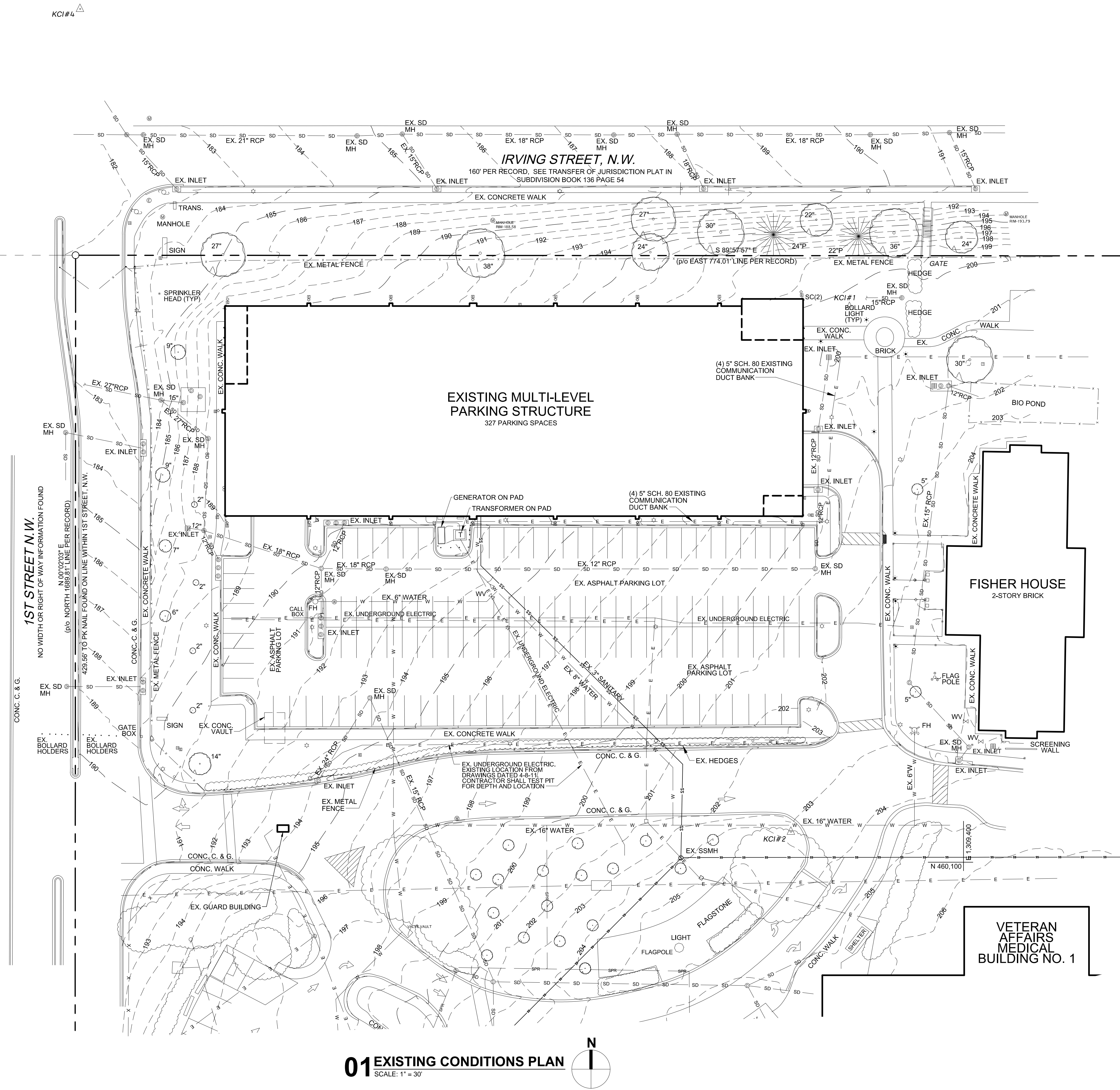


GENERAL NOTES

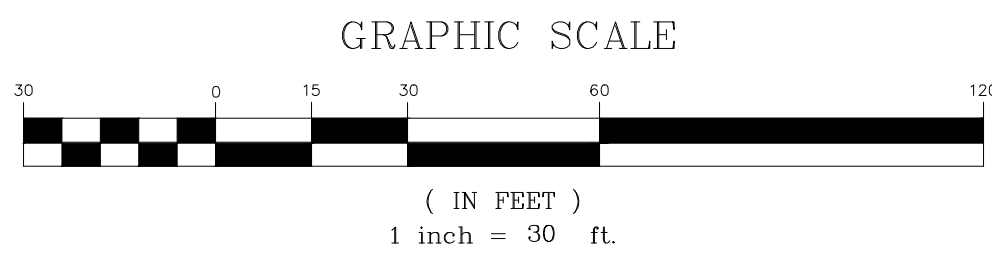
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SURVEY CONTROL				
PT #	NORTHING	EASTING	ELEV	DESCRIPTION
1	460424.64	1309333.41	200.44	REBAR W/CAP
2	460117.73	1309299.14	204.16	REBAR W/CAP
3	460162.27	1308832.35	189.71	REBAR W/CAP
4	460598.98	1308883.33	182.49	REBAR W/CAP



LEGEND

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- EX. SECURITY CAMERA
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- EX. BOLLARD
- EX. SPRINKLER HEAD
- EX. GROUND LIGHT
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- EX. LIGHT POLE
- EX. TREE SYMBOLS (TYP.)
- PROPERTY LINE
- EX. SEWER
- EX. STORM
- EX. WATER
- EX. UNDERGROUND ELECTRIC



Revisions	Date
4 100% Submission	2/16/15
3 95% Submission	8/28/14
2 65% Submission	8/7/14
1 35% Submission	4/15/14

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www.kci.com

Drawing Title
EXISTING CONDITIONS PLAN

Approved Project Director

Project Title
**VA MEDICAL CENTER
EXPAND VISITOR/PATIENT
PARKING GARAGE - PHASE 1**

Location
50 IRVING ST. N.W. WASHINGTON, D.C.

Date
02/16/2015

Checked
R.L.B.

Drawn
C.T.B.

Project Number
688-345

Building Number
-

Drawing Number
CD1.0

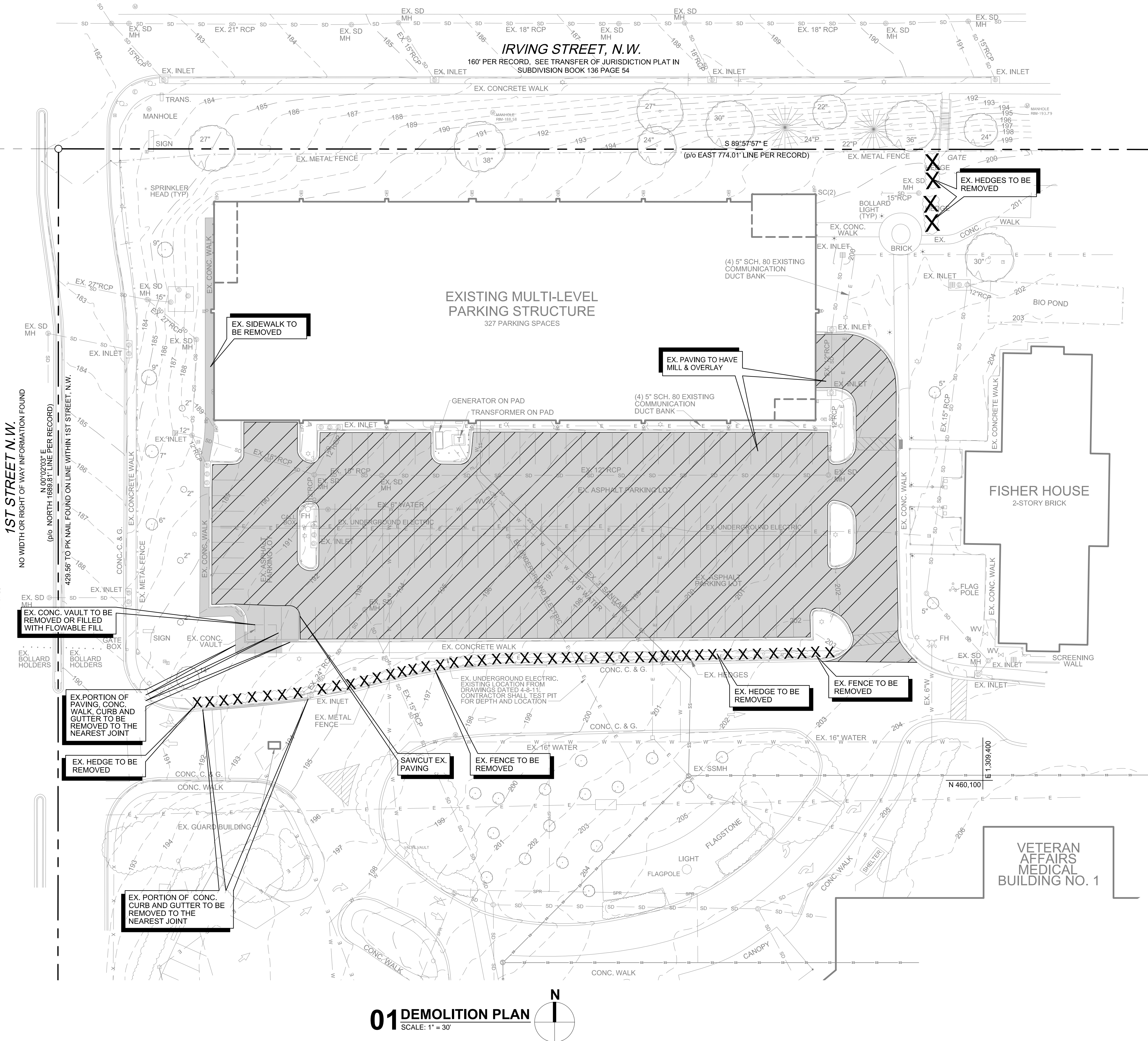
Dwg. 02 of 89

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01 DEMOLITION PLAN
SCALE: 1" = 30'

DEDUCT ALTERNATES (ALT.)

DEDUCT ALT. #1 - PERFORATED METAL SCREEN WALLS
BASE: Perforated metal screen with accent lighting as shown on these drawings.
DEDUCT: Delete perforated metal screen and supporting structure as shown on Drawing(s) 05/A2.1 and 03/A2.2, delete accent lighting as shown on Drawing(s) 01/A2.4, 02/E2.4, 11/A5.2 and 02/E1.4.

DEDUCT ALT. #2 - ELEVATOR LOBBY UPGRADES
BASE: Elevator finishes as shown on the drawings.
DEDUCT: Delete exposed aggregate finish on concrete floor as shown in Drawing(s) 01/A3.1, 01/A3.2, 04/A5.2 and 05/A5.2 and substitute smooth trowel finish, delete suspended metal ceilings as shown on Drawing(s) A4.1 and A4.2, provide substitute light fixtures as shown on fixture schedule E0.0 and Drawing(s) A4.1 and A4.2.

DEDUCT ALT. #3 - SITE IMPROVEMENTS
BASE: All site work shown on the drawings.
DEDUCT: Provide only site work shown on the Drawing(s) 01/CS3.1 and CS3.2.

DEDUCT ALT. #4 - LANDSCAPE AND SITE FURNISHINGS
BASE: All landscape work and site furnishings shown on the drawings.
DEDUCT: Provide only the landscape work and site furnishings shown on Drawing(s) 01/LP7.0 and LP7.1.

DEDUCT ALT. #5 - AUTOMATIC DOOR OPENING DEVICES
BASE: All automatic door opening devices shown on the drawings and hardware schedule.
DEDUCT: Provide manual door closer as specified in Spec Section(s) 087100. Delete electrical feeds shown on Drawing(s) 01/E2.1, 01/E2.4 and 02/E2.4.

DEDUCT ALT. #6 - CARD READERS
BASE: All card readers shown on the drawings and hardware schedule.
DEDUCT: Provide manual door locks/latches as specified in Spec Section(s) 087100. Delete electrical feeds shown on Drawing(s) 02/E2.2, 01/E2.4 and 02/E3.2.

DEDUCT ALT. #7 - BARRIER CABLE SYSTEM
BASE: Barrier cable system as shown on the drawings.
DEDUCT: Delete barrier cables at exterior openings as shown on Drawing(s) A2.1, A2.2 and 06/A2.4.

DEDUCT ALT. #8 - CRASH BARRIER, BOLLARDS AND SECURITY GATES
BASE: All crash barriers, bollards, and security gates shown on the drawings.
DEDUCT: Delete all crash barriers, bollards, and security gates shown on Drawing(s) 01/CS3.0, 04/LP7.1 and 05/LP7.1.

DEDUCT ALT. #9 - SITE FENCING
BASE: All site fencing shown on these drawings.
DEDUCT: Delete all site fencing shown on Drawing(s) 01/CS3.0 and 08/LP7.1.

DEDUCT ALT. #10 - INTERIOR GARAGE BARRIER FENCING
BASE: All cable type barrier fencing shown on the drawings.
DEDUCT: Provide chain link barrier fencing shown on Drawing(s) S2.1 and 06/S3.3.

DEDUCT ALT. #11 - SECURITY CAMERAS
BASE: Security cameras shown on the drawings.
DEDUCT: Delete security cameras and appurtenances (conduit, junction boxes, and power) shown on Drawing(s) E3.3, E3.4 and 02/E3.5.

DEDUCT ALT. #12 - LED LIGHTING
BASE: LED lighting as shown on the drawings.
DEDUCT: Provide substitute light fixtures as shown on fixture schedule E0.0 and as shown on Drawing(s) E1.4, E1.5 and E1.6.

DEDUCT ALT. #13 - SECURITY BOOTH
BASE: Security booth as shown on the drawings.
DEDUCT: Delete security booth and appurtenances shown on Drawing(s) A4.3, 02/E1.4, 03/E2.2 and 01/E2.3.

DEDUCT ALT. #14 - PARKING TIERS
BASE: 2-1/2 new tiers as shown on the drawings.
DEDUCT: Delete 1/2 tier connecting ramp as shown on Drawing(s) 02/A1.2, 02/A1.6, A2.1, A2.2, 01/S1.5, 02/M1.3, 02/P1.3, 03/FP1.3, 02/E1.6, 02/E2.4 and 02/E3.4.

LEGEND

	EX. SURVEY CONTROL
	EX. SECURITY CAMERA
	EX. ROOF DRAIN
	EX. BOLLARD
	EX. SPRINKLER HEAD
	EX. BOLLARD LIGHT
	EX. GROUND LIGHT
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	EX. STORM MANHOLE
	EX. LIGHT POLE
	TREE SYMBOLS (TYP.)
	PROPERTY LINE
	EX. SEWER
	EX. STORM
	EX. WATER
	EX. UNDERGROUND ELECTRIC
	APPROXIMATE LIMITS OF MILL AND OVERLAY
	APPROXIMATE LIMITS OF SIDEWALK, CURB AND GUTTER TO BE REMOVED

CONSULTANTS:

ARCHITECT Melville Thomas Architects, Inc. 600 Wyndhurst Avenue, Suite 315 Baltimore, MD 21210	PARKING CONSULTANT Timothy Haas & Associates, Inc. 550 Township Line Road, Suite 100 Columbia, MD 21044	COST ESTIMATOR DMS Construction Consulting Services, Inc. 5550 Stenters Place, Suite 300 Columbia, MD 21044
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Drawing Title
DEMOLITION PLAN

Approved Project Director

Project Title
VA MEDICAL CENTER
EXPAND VISITOR/PATIENT
PARKING GARAGE - PHASE 1

Location
50 IRVING ST. N.W. WASHINGTON, D.C.

Date
02/16/2015

Checked
R.L.B.

Drawn
C.T.B.

Project Number
688-345

Building Number
-

Drawing Number
CD1.1

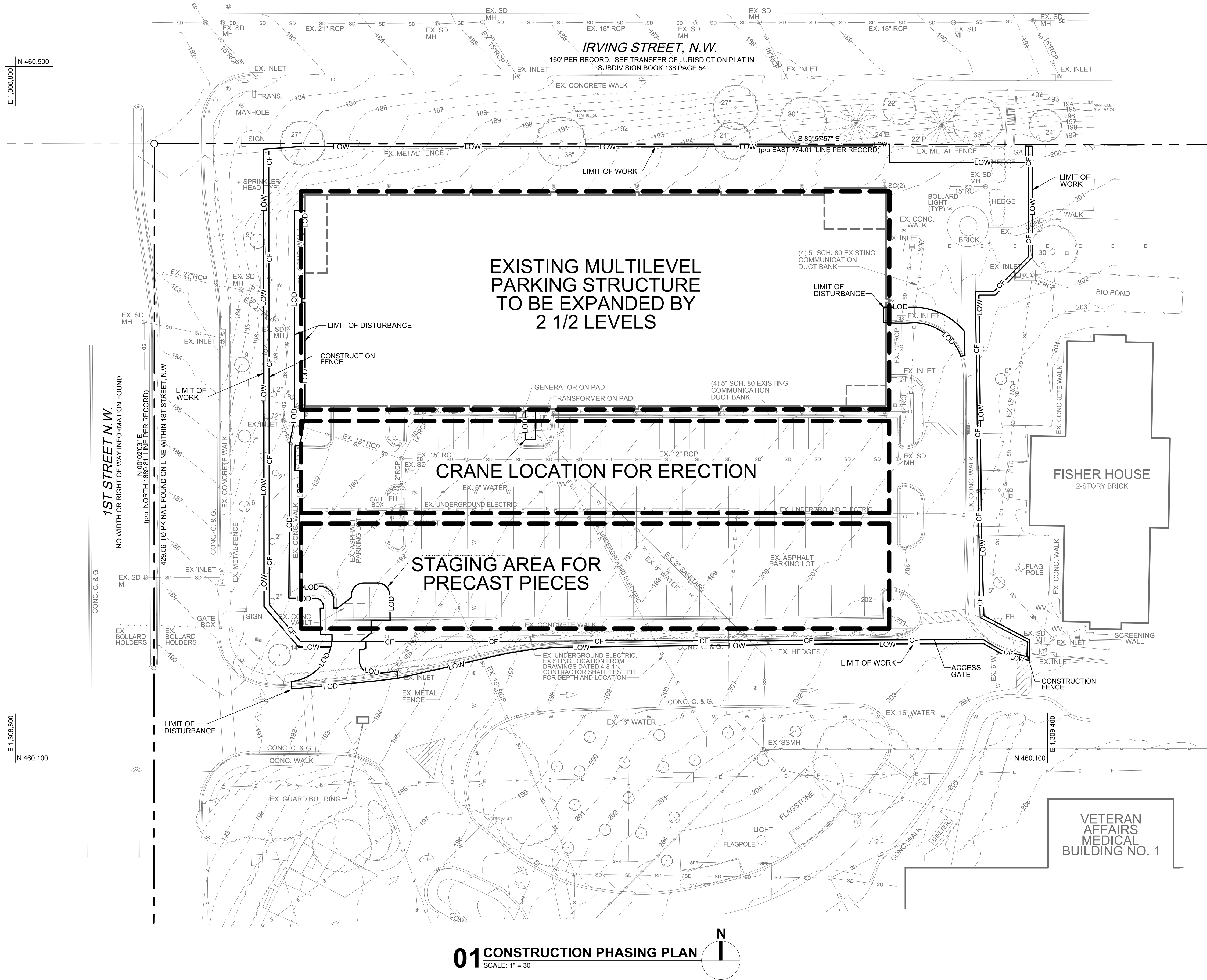
Dwg. 03 of 89

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- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AT ALL TIMES.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AND ACCESSORIES NOT REMOVED BY LOCAL UTILITY COMPANIES, OR SPECIFIED TO BE REMOVED BY OWNER.
- CONTRACTOR SHALL INSTALL SEDIMENT CONTROLS PRIOR TO BEGINNING ANY WORK AND MAINTAIN SEDIMENT CONTROLS THROUGHOUT THE ENTIRE DURATION OF DEMOLITION AND CONSTRUCTION ACTIVITIES.
- ALL EXCAVATION SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IN THE EVENT THAT A PORTION OF A UTILITY IS TO BE REMOVED THE CONTRACTOR SHALL TERMINATE AND CAP TO THE LIMITS INDICATED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES
- CONTRACTOR SHALL INSTALL A TEMPORARY CONSTRUCTION FENCE AROUND THE CONSTRUCTION AREA WHILE MAINTAINING ACCESS TO THE ADJACENT PUBLIC SIDEWALKS AND DRIVEWAYS.
- CONTRACTOR SHALL SECURE THE CONSTRUCTION AREA AT THE END OF EACH WORKING DAY AND WILL INSPECT THE SECURITY FENCING TO INSURE ITS INTEGRITY.
- ALL CONSTRUCTION DEBRIS WILL BE REMOVED FROM THE SITE AND TAKEN TO AN APPROVED, PERMITTED DISPOSAL FACILITY. NO RUBBLE IS TO BE LEFT ON SITE.
- CONTRACTOR SHALL INSPECT AND TAKE PICTURES OF ADJACENT BUILDING WALLS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ON THE SITE. EXISTING WALL CRACKS (IF ANY) WILL BE NOTED.
- CONTRACTOR SHALL CONTINUALLY MONITOR THE WALLS OF THE ADJACENT BUILDINGS FOR ANY SIGNS OF STRUCTURAL DISTRESS. IF ANY DISTRESS IS NOTED, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER.
- CONTRACTOR SHALL NOT EXPOSE, UNDERMINE, OR IMPACT THE ZONE OF INFLUENCE FOR FOOTINGS AND FOUNDATIONS OF ADJACENT BUILDINGS. CONTRACTOR WILL BE RESPONSIBLE FOR THE COST TO REPAIR ADJACENT BUILDINGS THAT ARE DAMAGED DUE TO HIS OPERATION.
- CONTRACTOR SHALL PROVIDE THE NECESSARY MEANS TO CONTROL DUST AND MAINTAIN BALTIMORE COUNTY AIR QUALITY STANDARDS DURING THE DEMOLITION AND REMOVAL OF BUILDING DEBRIS AND THE NEW CONSTRUCTION.
- CONTRACTOR SHALL SAWCUT EXISTING PAVING TO MINIMIZE DAMAGE TO EXISTING PAVING REMAINING.
- CONTRACTOR SHALL REMOVE EXISTING CURBS & CONCRETE WALKS TO THE NEAREST JOINT. NO PATCHING WILL BE PERMITTED.
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATED AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
- TEMPORARY CONSTRUCTION FENCING SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF THE PROJECT.



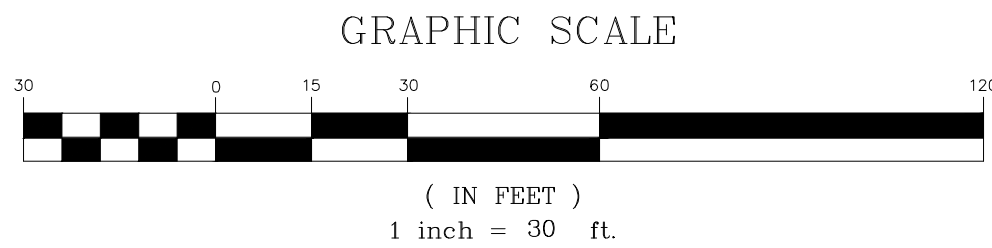
- CONSTRUCTION STAGING NOTES:
- ACCESS GATE TO REMAIN OPEN DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ADDITIONAL SIGNAGE AND PEDESTRIAN WAY FINDING AS REQUESTED BY THE VETERANS AFFAIRS CONTRACTING OFFICER OR THEIR DESIGNEE.
- ALL SIGNAGE SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TEMPORARY UTILITY SERVICES REQUIRED FOR TRAILERS, ETC. WITHIN THE STAGING AREA. PORT-A-JOHN'S ARE ALSO THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE WITH THE VA ON ALL STAGING AREAS NEEDED THROUGHOUT CONSTRUCTION. NO ADDITIONAL PARKING AREAS SHALL BE USED WITHOUT SPECIFIC PRIOR APPROVAL FROM THE VA.
- ACCESS ROUTES FOR CONSTRUCTION TRAFFIC SHALL BE COORDINATED AND APPROVED BY THE VA PRIOR TO CONSTRUCTION.
- ALL MATERIALS TO BE STORED WITHIN THE CONSTRUCTION FENCE. CONSTRUCTION FENCE TO COMPLY WITH VA STANDARDS AND SPECIFICATIONS, SPECIFICALLY SECTION 01000, GENERAL REQUIREMENTS.

LEGEND

- EX. SURVEY CONTROL
- EX. SECURITY CAMERA
- EX. ROOF DRAIN
- EX. BOLLARD
- EX. SPRINKLER HEAD
- EX. BOLLARD LIGHT
- EX. GROUND LIGHT
- EX. FIRE HYDRANT
- EX. WATER MANHOLE
- EX. DROP INLET
- EX. CATCH BASIN
- EX. STORM MANHOLE
- EX. UTILITY POLE
- EX. LIGHT POLE
- EX. HANDHOLE
- EX. TELEPHONE PED
- EX. TRANSFORMER
- EX. ELEC BOX
- EX. POWER POLE
- EX. SEWER MANHOLE
- EX. WATER VALVE
- EX. DROP INLET
- EX. CATCH BASIN
- EX. STORM MANHOLE
- EX. LIGHT POLE
- TREE SYMBOLS (TYP.)
- PROPERTY LINE
- EX. SEWER
- EX. STORM
- EX. WATER
- EX. UNDERGROUND ELECTRIC
- LOD - LIMIT OF DISTURBANCE
- LOW - LIMIT OF WORK
- CF - CONSTRUCTION FENCE

01 CONSTRUCTION PHASING PLAN

SCALE: 1" = 30'



3	100% Submission	2/16/15
2	95% Submission	8/28/14
1	65% Submission	8/7/14
Revisions		Date

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ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS
936 RIDGEBROOK ROAD SPARKS, MD 21152 PHONE: (410) 316-7800 FAX: (410) 316-7817 www.kci.com

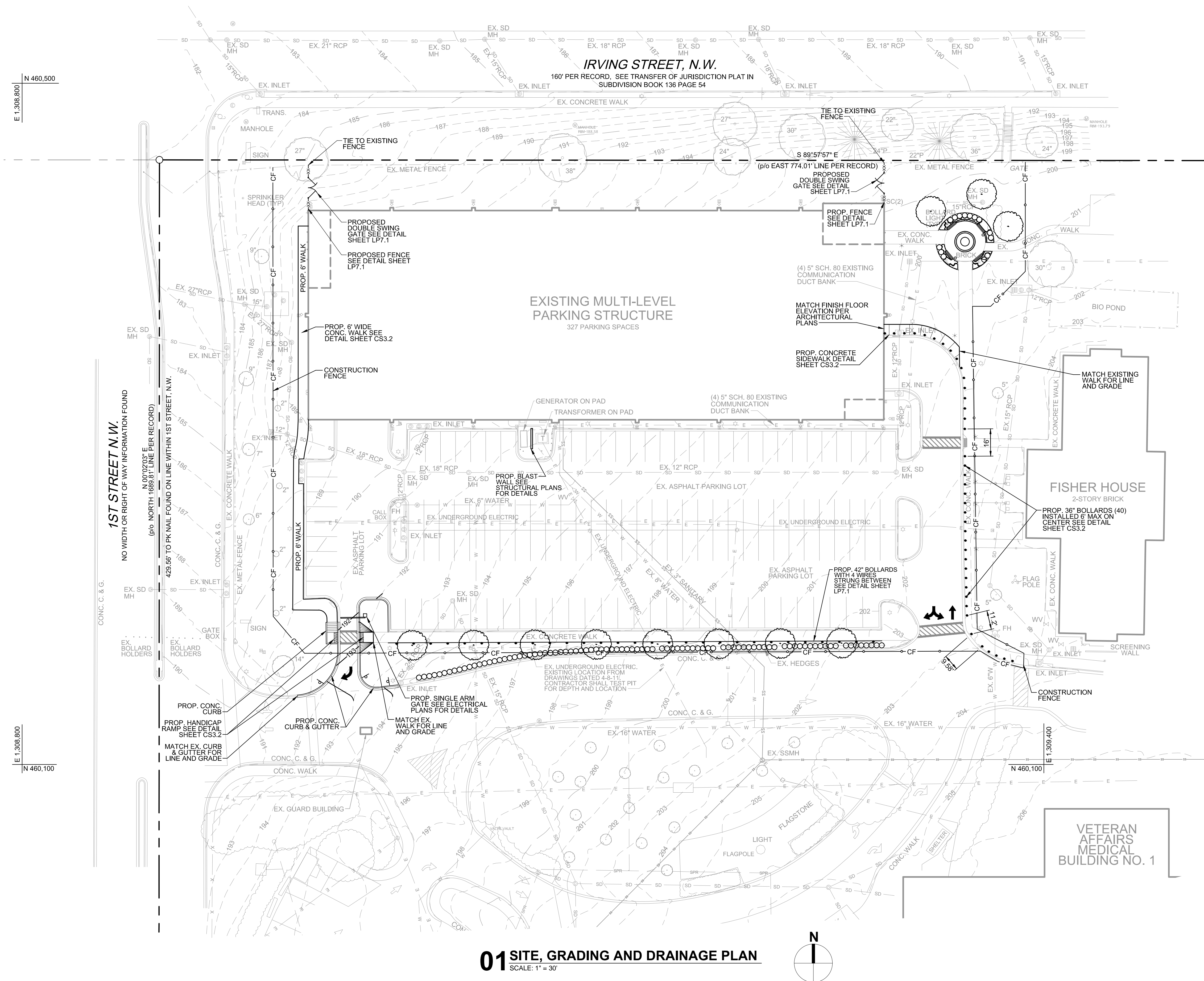
Drawing Title CONSTRUCTION PHASING PLAN
Approved Project Director
Project Title VA MEDICAL CENTER EXPAND VISITOR/PATIENT PARKING GARAGE - PHASE 1
Location 50 IRVING ST. N.W. WASHINGTON, D.C.
Date 02/16/2015
Checked R.L.B.
Drawn C.T.B.

Project Number 688-345
Building Number -
Drawing Number CP1.0
Dwg. 4 of 89

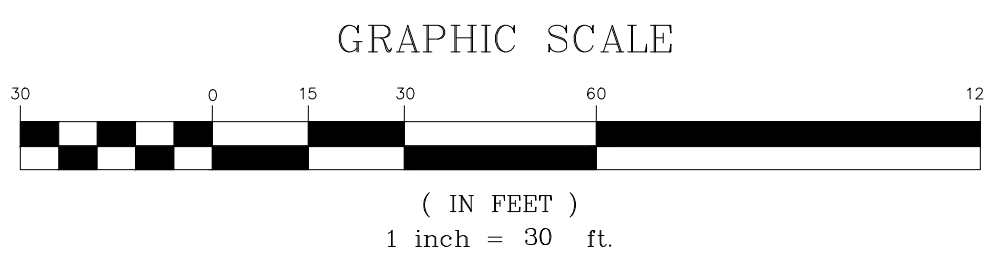
Office of Construction and Facilities Management
Department of Veterans Affairs

GENERAL NOTES

- THE SITE SHOWN HEREON IS PART OF PARCEL 121/27 AS SHOWN ON ASSESSMENT AND TAXATION PLAT #3457-X RECORDED AMONG THE RECORDS OF OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA
- BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL DISTRICT RECORDS AND VERIFIED IN THE FIELD IN SO FAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CORRECTION BY THE OFFICE OF THE SURVEYOR. A FULL BOUNDARY SURVEY FOR THE TRACT LINES OF PARCEL 121/27 WAS NOT PERFORMED.
- HORIZONTAL DATUM FOR THIS SURVEY, INCLUDING COORDINATES AND BEARINGS THAT MAY BE SHOWN, IS REFERENCED TO THE GRID MERIDIAN ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM NAD83(2011) AND OBTAINED FROM GPS SURVEY REFERENCED TO THE LEICA SMARTNET (RTK/RTN) NETWORK.
- ELEVATIONS AND CONTOURS SHOWN HEREON ARE BASED IN THE NORTH AMERICAN DATUM OF 1988 (NAD83) AS AS ESTABLISHED BY GPS SURVEY AND VERIFIED IN THE FIELD (WITH APPROPRIATE CONVERSIONS) TO DC BENCHMARKS AND OTHER ON-SITE CONTROL BY OTHERS FOUND.
- INDICATIONS OF UTILITY SERVICES SHOWN HEREON ARE BY ABOVE GROUND EVIDENCE ONLY. NO UNDERGROUND DESIGNATION WAS PERFORMED FOR THIS SURVEY. PROVIDED PLANS WERE USED TO CONNECT SOME STORM AND SANITARY SEWER SYSTEMS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY UNCOVER EASEMENTS OR OTHER RESTRICTIONS OF RECORD AFFECTING THE SUBJECT SITE.
- NO INFORMATION FOR AN ESTABLISHED RIGHT OF WAY FOR 1ST STREET ALONG THE WESTERN BOUNDARY WAS FOUND.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-257-7777) AT LEAST FIVE WORKING DAYS PRIOR TO STARTING ANY WORK.
- OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. KCI TECHNOLOGIES, INC. DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT PRIOR TO STARTING ANY WORK.
- REMOVAL OF ANY SIDEWALK AND/OR CURB AND GUTTER SHALL BE TO THE NEAREST JOINT. NO PATCHING SHALL BE PERMITTED.
- ADJUST TOP OF CURB GRADES TO SMOOTH TRANSITION.
- SAWCUT EXISTING PAVING AS NEEDED TO INSTALL NEW CONSTRUCTION.
- STRIP AND RESURFACE EXISTING PAVING AS NEEDED TO PROVIDE SMOOTH TRANSITION TO EXISTING SURFACE.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF ANY DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS THE FIGURED DIMENSIONS SHALL GOVERN.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL TIE-IN ELEVATIONS.
- FILL IN STRUCTURAL AND PAVEMENT AREAS SHALL BE PLACED IN HORIZONTAL, EIGHT-INCH MAXIMUM LOOSE LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY PER ASTM D-1557. IN AREAS TO SUPPORT FLOOR SLABS AND PAVEMENTS THE UPPERMOST ONE FOOT (AFTER COMPACTION) SHALL BE COMPACTED TO 98 PERCENT OF THE MAXIMUM DRY DENSITY. THE MOISTURE CONTENT OF THE FILL SHALL BE PROPERLY CONTROLLED DURING PLACEMENT. IN BUILDING AREAS FILL SHALL EXTEND A MINIMUM OF 10 FEET BEYOND THE BUILDING LIMITS AND FILL SLOPES NO STEEPER THAN 2:1 SHALL BE USED. SEE THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST BALTIMORE COUNTY STANDARD DETAILS AND SPECIFICATIONS AND ALL REVISIONS THERETO, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ADJUST ALL FRAMES, GRATES AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE CONTRACT TO THE PROPOSED GRADES, AS REQUIRED.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TO SWALES AND/OR STORM DRAIN SYSTEMS AT ALL TIMES.



01 SITE, GRADING AND DRAINAGE PLAN
SCALE: 1" = 30'



Revisions	Date
4 100% Submission	2/16/15
3 95% Submission	8/28/14
2 65% Submission	8/7/14
1 35% Submission	4/15/14

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COST ESTIMATOR DMS Construction Consulting Services, Inc. 5550 Stennett Place, Suite 300 Columbia, MD 21044
CIVIL ENGINEER KCI Technologies, Inc. 936 Ridgeway Road Sparks, MD 21152

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Drawing Title
SITE, GRADING AND DRAINAGE PLAN
Approved Project Director

Project Title
VA MEDICAL CENTER EXPAND VISITOR/PATIENT PARKING GARAGE - PHASE 1
Location
50 IRVING ST. N.W. WASHINGTON, D.C.
Date
02/16/2015
Checked
R.L.B.
Drawn
C.T.B.

Project Number
688-345
Building Number
-
Drawing Number
CS3.0
Dwg. 05 of 89

Office of Construction and Facilities Management
Department of Veterans Affairs

DEDUCT ALTERNATES (ALT.)

DEDUCT ALT. #1 - PERFORATED METAL SCREEN WALLS
BASE: Perforated metal screen with accent lighting as shown on these drawings.
DEDUCT: Delete perforated metal screen and supporting structure as shown on Drawing(s) 05/A2.1 and 03/A2.2, delete accent lighting as shown on Drawing(s) 01/A2.4, 02/E2.4, 11/A5.2 and 02/E1.4.

DEDUCT ALT. #2 - ELEVATOR LOBBY UPGRADES
BASE: Elevator finishes as shown on the drawings.
DEDUCT: Delete exposed aggregate finish on concrete floor as shown in Drawing(s) 01/A3.1, 01/A3.2, 04/A5.2 and 05/A5.2 and substitute smooth trowel finish, delete suspended metal ceilings as shown on Drawing(s) A4.1 and A4.2, provide substitute light fixtures as shown on fixture schedule E0.0 and Drawing(s) A4.1 and A4.2.

DEDUCT ALT. #3 - SITE IMPROVEMENTS
BASE: All site work shown on the drawings.
DEDUCT: Provide only site work shown on the Drawing(s) 01/CS3.1 and CS3.2.

DEDUCT ALT. #4 - LANDSCAPE AND SITE FURNISHINGS
BASE: All landscape work and site furnishings shown on the drawings.
DEDUCT: Provide only the landscape work and site furnishings shown on Drawing(s) 01/LP7.0 and LP7.1.

DEDUCT ALT. #5 - AUTOMATIC DOOR OPENING DEVICES
BASE: All automatic door opening devices shown on the drawings and hardware schedule.
DEDUCT: Provide manual door closer as specified in Spec Section(s) 087100. Delete electrical feeds shown on Drawing(s) 01/E2.1, 01/E2.4 and 02/E2.4.

DEDUCT ALT. #6 - CARD READERS
BASE: All card readers shown on the drawings and hardware schedule.
DEDUCT: Provide manual door locks/latches as specified in Spec Section(s) 087100. Delete electrical feeds shown on Drawing(s) 02/E2.2, 01/E2.4 and 02/E3.2.

DEDUCT ALT. #7 - BARRIER CABLE SYSTEM
BASE: Barrier cable system as shown on the drawings.
DEDUCT: Delete barrier cables at exterior openings as shown on Drawing(s) A2.1, A2.2 and 06/A2.4.

DEDUCT ALT. #8 - CRASH BARRIER, BOLLARDS AND SECURITY GATES
BASE: All crash barriers, bollards, and security gates shown on the drawings.
DEDUCT: Delete all crash barriers, bollards, and security gates shown on Drawing(s) 01/CS3.0, 04/LP7.1 and 05/LP7.1.

DEDUCT ALT. #9 - SITE FENCING
BASE: All site fencing shown on these drawings.
DEDUCT: Delete all site fencing shown on Drawing(s) 01/CS3.0 and 08/LP7.1.

DEDUCT ALT. #10 - INTERIOR GARAGE BARRIER FENCING
BASE: All cable type barrier fencing shown on the drawings.
DEDUCT: Provide chain link barrier fencing shown on Drawing(s) S2.1 and 06/S3.3.

DEDUCT ALT. #11 - SECURITY CAMERAS
BASE: Security cameras shown on the drawings.
DEDUCT: Delete security cameras and appearances (conduit, junction boxes, and power) shown on Drawing(s) E3.3, E3.4 and 02/E3.5.

DEDUCT ALT. #12 - LED LIGHTING
BASE: LED lighting as shown on the drawings.
DEDUCT: Provide substitute light fixtures as shown on fixture schedule E0.0 and as shown on Drawing(s) E1.4, E1.5 and E1.6.

DEDUCT ALT. #13 - SECURITY BOOTH
BASE: Security booth as shown on the drawings.
DEDUCT: Delete security booth and appearances shown on Drawing(s) A4.3, 02/E1.4, 03/E2.2 and 01/E2.3.

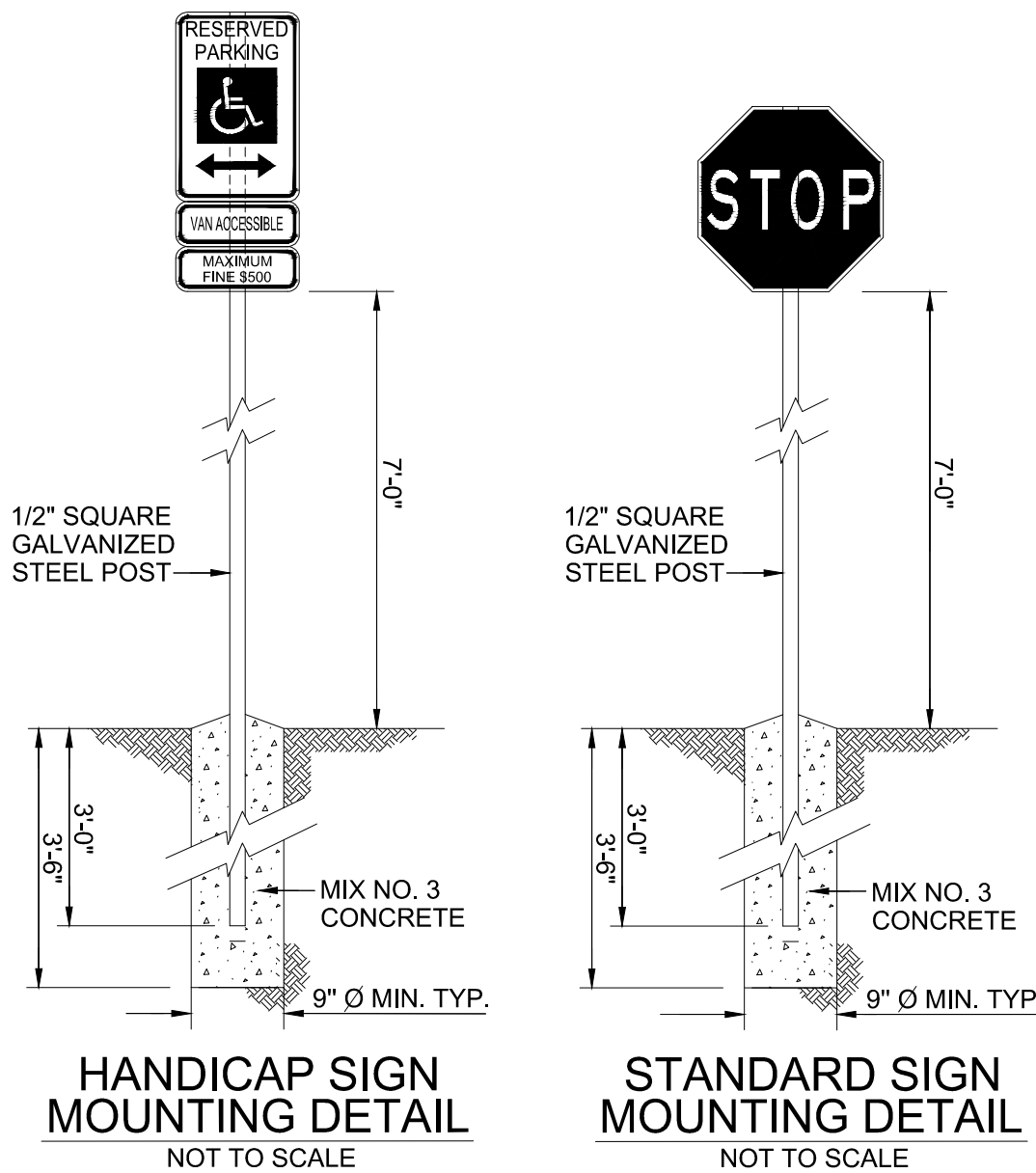
DEDUCT ALT. #14 - PARKING TIERS
BASE: 2-1/2 new tiers as shown on the drawings.
DEDUCT: Delete 1/2 tier connecting ramp as shown on Drawing(s) 02/A1.2, 02/A1.6, A2.1, A2.2, 01/S1.5, 02/M1.3, 02/P1.3, 03/FP1.3, 02/E1.6, 02/E2.4 and 02/E3.4.

LEGEND

	EX. SURVEY CONTROL
	EX. SECURITY CAMERA
	EX. ROOF DRAIN
	EX. BOLLARD
	EX. SPRINKLER HEAD
	EX. BOLLARD LIGHT
	EX. GROUND LIGHT
	EX. FIRE HYDRANT
	EX. WATER MANHOLE
	EX. DROP INLET
	EX. CATCH BASIN
	EX. STORM MANHOLE
	EX. UTILITY POLE
	EX. LIGHT POLE
	EX. ELECTRIC MANHOLE
	EX. HANDHOLE
	EX. TELEPHONE PED
	EX. TRANSFORMER
	EX. ELEC BOX
	EX. POWER POLE
	EX. SEWER MANHOLE
	EX. WATER VALVE
	EX. DROP INLET
	EX. CATCH BASIN
	EX. STORM MANHOLE
	EX. LIGHT POLE
	TREE SYMBOLS (TYP.)
	PROPERTY LINE
	EX. SEWER
	EX. STORM
	EX. WATER
	EX. UNDERGROUND ELECTRIC
	PROP. CONTOUR
	PROP. BOLARD
	PROP. WIRE & CABLE FENCE
	PROP. FENCE
	PROP. SIDEWALK
	PROP. CURB & GUTTER
	CONSTRUCTION FENCE

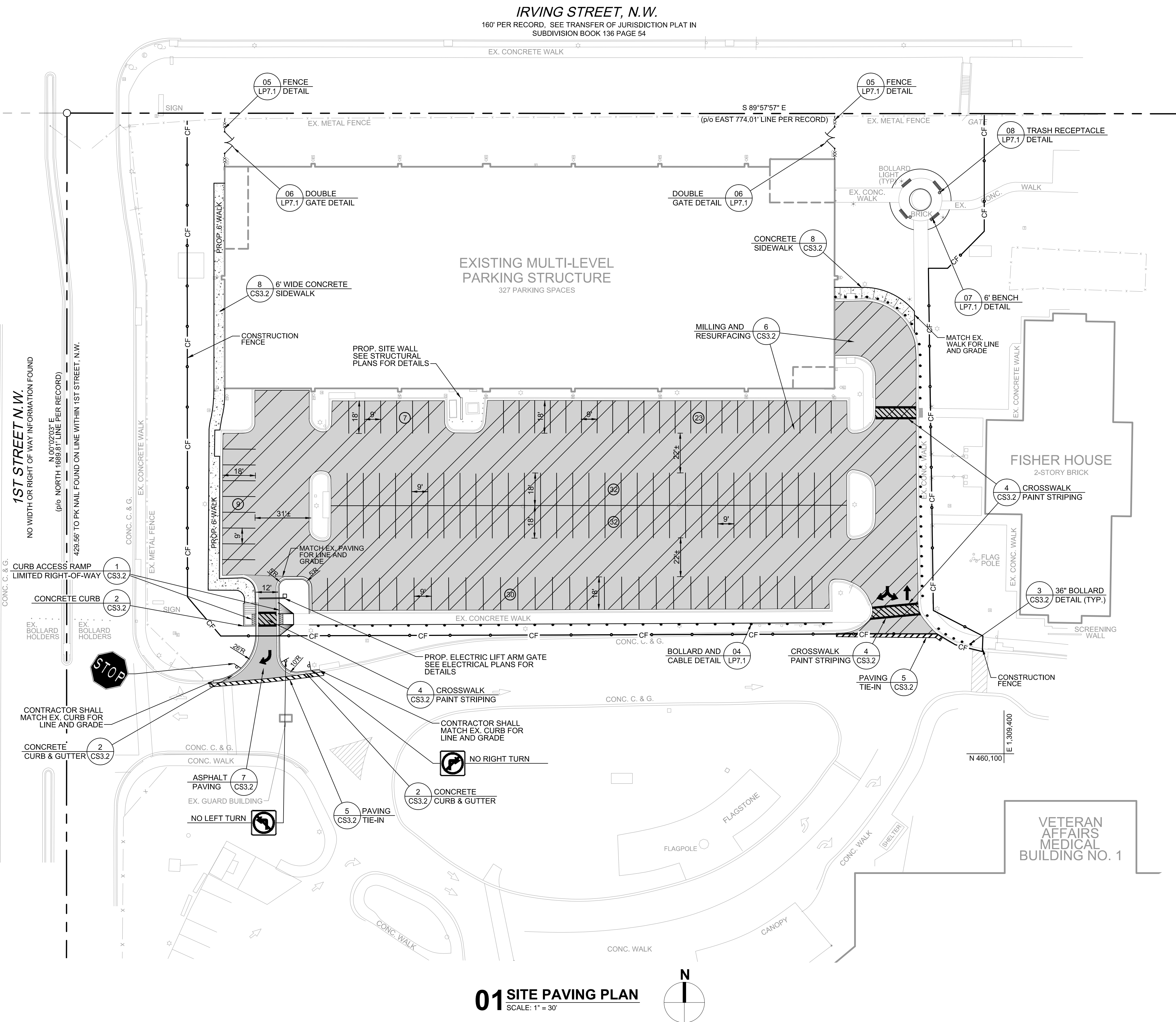
GENERAL NOTES

- THE SITE SHOWN HEREON IS PART OF PARCEL 121/27 AS SHOWN ON ASSESSMENT AND TAXATION PLAT #3457-X RECORDED AMONG THE RECORDS OF OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA
- BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL DISTRICT RECORDS AND VERIFIED IN THE FIELD IN SO FAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CORRECTION BY THE OFFICE OF THE SURVEYOR. A FULL BOUNDARY SURVEY FOR THE TRACT LINES OF PARCEL 121/27 WAS NOT PERFORMED.
- HORIZONTAL DATUM FOR THIS SURVEY, INCLUDING COORDINATES AND BEARINGS THAT MAY BE SHOWN, IS REFERENCED TO THE GRID MERIDIAN ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM NAD83(2011) AND OBTAINED FROM GPS SURVEY REFERENCED TO THE LEICA SMARTNET (RTK/NTN) NETWORK.
- ELEVATIONS AND CONTOURS SHOWN HEREON ARE BASED IN THE NORTH AMERICAN DATUM OF 1988 (NAV88) AS AS ESTABLISHED BY GPS SURVEY AND VERIFIED IN THE FIELD (WITH APPROPRIATE CONVERSIONS) TO DC BENCHMARKS AND OTHER ONSITE CONTROL BY OTHERS FOUND.
- INDICATIONS OF UTILITY SERVICES SHOWN HEREON ARE BY ABOVE GROUND EVIDENCE ONLY. NO UNDERGROUND DESIGNATION WAS PERFORMED FOR THIS SURVEY. PROVIDED PLANS WERE USED TO CONNECT SOME STORM AND SANITARY SEWER SYSTEMS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY UNCOVER EASEMENTS OR OTHER RESTRICTIONS OF RECORD AFFECTING THE SUBJECT SITE.
- NO INFORMATION FOR AN ESTABLISHED RIGHT OF WAY FOR 1ST STREET ALONG THE WESTERN BOUNDARY WAS FOUND.



N 460,500
E 1,308,800

N 460,100
E 1,308,800



01 SITE PAVING PLAN
SCALE: 1" = 30'

DEDUCT ALTERNATES (ALT.)

DEDUCT ALT. #1 - PERFORATED METAL SCREEN WALLS.
BASE: Perforated metal screen with accent lighting as shown on these drawings.
DEDUCT: Delete perforated metal screen and supporting structure as shown on Drawing(s) 05/A2.1 and 03/A2.2, delete accent lighting as shown on Drawing(s) 01/A2.4, 02/A2.4, 11/A5.2 and 02/E1.4.

DEDUCT ALT. #2 - ELEVATOR LOBBY UPGRADES
BASE: Elevator finishes as shown on the drawings.
DEDUCT: Delete exposed aggregate finish on concrete floor as shown in Drawing(s) 01/A3.1, 01/A3.2, 04/A5.2 and 05/A5.2 and substitute smooth trowel finish, delete suspended metal ceilings as shown on Drawing(s) A4.1 and A4.2, provide substitute light fixtures as shown on fixture schedule E0.0 and Drawing(s) A4.1 and A4.2.

DEDUCT ALT. #3 - SITE IMPROVEMENTS
BASE: All site work shown on the drawings.
DEDUCT: Provide only site work shown on the Drawing(s) 01/CS3.1 and CS3.2.

DEDUCT ALT. #4 - LANDSCAPE AND SITE FURNISHINGS
BASE: All landscape work and site furnishings shown on the drawings.
DEDUCT: Provide only the landscape work and site furnishings shown on Drawing(s) 01/LP7.0 and LP7.1.

DEDUCT ALT. #5 - AUTOMATIC DOOR OPENING DEVICES
BASE: All automatic door opening devices shown on the drawings and hardware schedule.
DEDUCT: Provide manual door closer as specified in Spec Section(s) 087100. Delete electrical feeds shown on Drawing(s) 01/E2.1, 01/E2.4 and 02/E2.4.

DEDUCT ALT. #6 - CARD READERS
BASE: All card readers shown on the drawings and hardware schedule.
DEDUCT: Provide manual door locks/latches as specified in Spec Section(s) 087100. Delete electrical feeds shown on Drawing(s) 02/E2.2, 01/E2.4 and 02/E3.2.

DEDUCT ALT. #7 - BARRIER CABLE SYSTEM
BASE: Barrier cable system as shown on the drawings.
DEDUCT: Delete barrier cables at exterior openings as shown on Drawing(s) A2.1, A2.2 and 06/A2.4.

DEDUCT ALT. #8 - CRASH BARRIER, BOLLARDS AND SECURITY GATES
BASE: All crash barriers, bollards, and security gates shown on the drawings.
DEDUCT: Delete all crash barriers, bollards, and security gates shown on Drawing(s) 01/CS3.0, 04/LP7.1 and 05/LP7.1.

DEDUCT ALT. #9 - SITE FENCING
BASE: All site fencing shown on these drawings.
DEDUCT: Delete all site fencing shown on Drawing(s) 01/CS3.0 and 08/LP7.1.

DEDUCT ALT. #10 - INTERIOR GARAGE BARRIER FENCING
BASE: All cable type barrier fencing shown on the drawings.
DEDUCT: Provide chain link barrier fencing shown on Drawing(s) S2.1 and 06/S3.3.

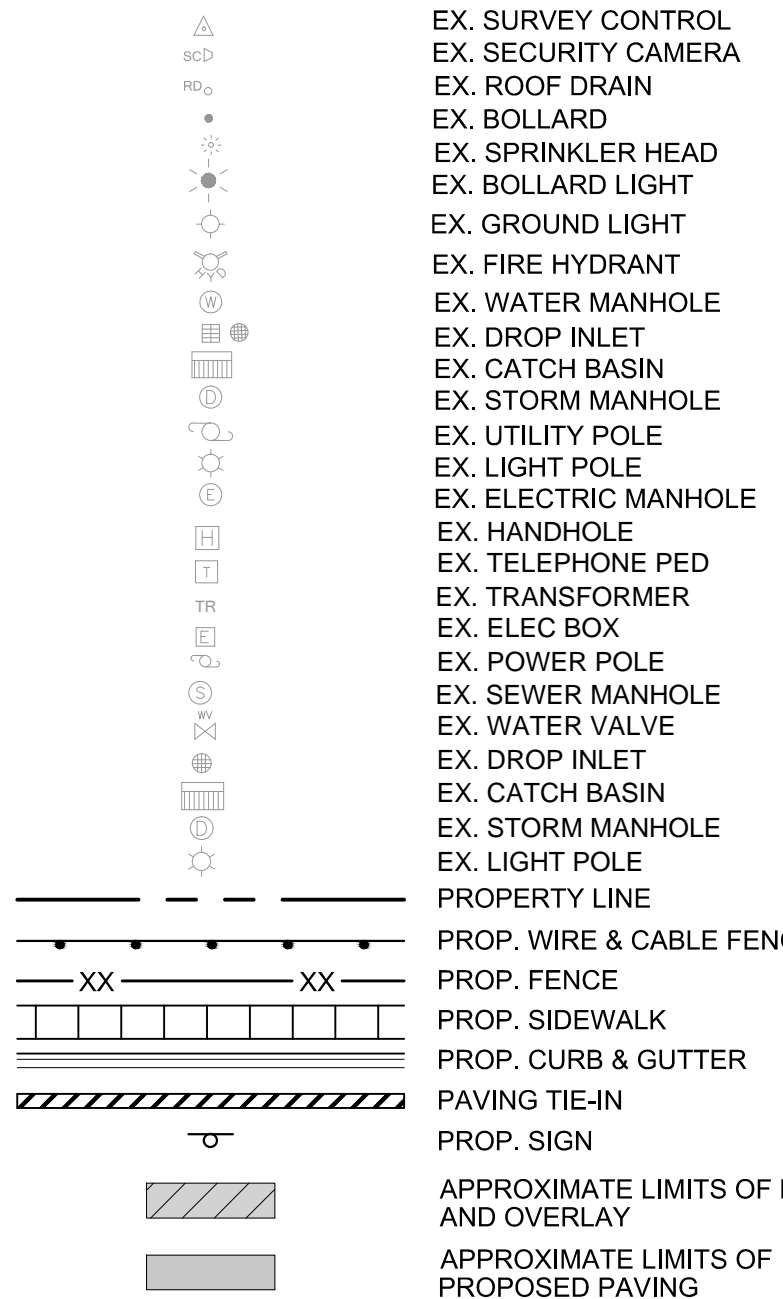
DEDUCT ALT. #11 - SECURITY CAMERAS
BASE: Security cameras shown on the drawings.
DEDUCT: Delete security cameras and appurtenances (conduit, junction boxes, and power) shown on Drawing(s) E3.3, E3.4 and 02/E3.5.

DEDUCT ALT. #12 - LED LIGHTING
BASE: LED lighting as shown on the drawings.
DEDUCT: Provide substitute light fixtures as shown on fixture schedule E0.0 and as shown on Drawing(s) E1.4, E1.5 and E1.6.

DEDUCT ALT. #13 - SECURITY BOOTH
BASE: Security booth as shown on the drawings.
DEDUCT: Delete security booth and appurtenances shown on Drawing(s) A4.3, 02/E1.4, 03/E2.2 and 01/E2.3.

DEDUCT ALT. #14 - PARKING TIERS
BASE: 2-1/2 new tiers as shown on the drawings.
DEDUCT: Delete 1/2 tier connecting ramp as shown on Drawing(s) 02/A1.2, 02/A1.6, A2.1, A2.2, 01/S1.5, 02/M1.3, 02/P1.3, 03/FP1.3, 02/E1.6, 02/E2.4 and 02/E3.4.

LEGEND



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Drawing Title
SITE PAVING PLAN

Approved Project Director

Project Title
VA MEDICAL CENTER
EXPAND VISITOR/PATIENT
PARKING GARAGE - PHASE 1

Location
50 IRVING ST. N.W. WASHINGTON, D.C.

Date
02/16/2015

Checked
R.L.B.

Drawn
C.T.B.

Project Number
688-345

Building Number
-

Drawing Number
CS3.1

Dwg. 06 of 89

Office of
Construction
and Facilities
Management

Department of
Veterans Affairs